

PROPOSED NEW BUILDING FOR:

# AMERICAN OPPORTUNITY ZONE FUND LLC

BRIDGE AVE MONMOUTH COUNTY RED BANK, NJ



**1** FRONT ELEVATION  
**T-1** SCALE: N.T.S.

### BUILDING CODE ANALYSIS

**BUILDING DATA:**  
 CODE: 2018 I.B.C.  
 OCCUPANCY: B/R2  
 CONSTRUCTION TYPE: 5A  
 SPRINKLERED: YES  
 FIRE DISTRICT: N/A  
 BUILDING HEIGHT: 42'-0" 4 STORY

**LIFE SAFETY SYSTEM:**  
 EMERGENCY LIGHTING AND EXIT SIGNS: YES  
 FIRE ALARM AND SMOKE DETECTION SYSTEM: YES  
 PANIC HARDWARE: YES

**DESIGN LOADS:**

ROOF LIVE LOAD: 30 PSF  
 ROOF DEAD LOAD: 18 PSF  
 TOTAL ROOF LOAD: 48 PSF  
 WIND LOAD: 130 MPH  
 DEFLECTION DESIGN: L/360 OVER WINDOWS  
 L/240 ROOF AREAS  
 ZONE -  
 SOIL BEARING: 3,000 PSF CAPACITY PER SOIL BORINGS  
 SEISMIC:

**EXIT REQUIREMENTS:**

DEAD END LIMIT - MAXIMUM CONDITION = 20 FEET  
 TRAVEL DISTANCE TO EXIT - MAXIMUM CONDITION = 250 FEET  
 NUMBER EXITS = THREE(3), NUMBER REQUIRED = THREE (3)  
 TOTAL BUILDING PUBLIC SQUARE FOOTAGE:  
 = SQ. FT./ OCCUPANT SQ. FT.  
 = MAXIMUM PERSONS

### APPLICABLE CODES

**BUILDING SUBCODE** (NJAC 5:23-3.14)  
 INTERNATIONAL BUILDING CODE/2021, NJ ED  
 \* CORRECTED SECTIONS (ERRATA LIST)  
 OTHER REFERENCED I-CODES (IFC/2021, SPSC/2021, ETC.)  
 OTHER REFERENCED ICC STANDARDS (ICC/ANSI A117.1-2017; ICC 300-2017; ETC.)  
 SEPT. 06, 2022

**PLUMBING SUBCODE** (NJAC 5:23-3.15)  
 NATIONAL STANDARD PLUMBING CODE/2021, NJ ED  
 \* CORRECTED SECTIONS (ERRATA LIST)  
 \* CORRECTED PAGES (NJ ERRATA)  
 SEPT. 19, 2022

**ELECTRICAL SUBCODE** (NJAC 5:23-3.16)  
 NATIONAL ELECTRICAL CODE (NFPA 70)/2020  
 (LINK ALSO PROVIDES ACCESS TO ALL NFPA STANDARDS)  
 \* TIA 1 THROUGH 9  
 SEPT. 06, 2022

**ENERGY SUBCODE** (NJAC 5:23-3.18)  
 INTERNATIONAL ENERGY CONSERVATION CODE/2021 (LOW-RISE RESIDENTIAL)  
 ASHRAE 90.1-2019 (COMMERCIAL & ALL OTHER RESIDENTIAL)  
 SEPT. 06, 2022

**MECHANICAL SUBCODE** (NJAC 5:23-3.20)  
 INTERNATIONAL MECHANICAL CODE/2021  
 SEPT. 06, 2022

**ONE- AND TWO-FAMILY DWELLING SUBCODE** (NJAC 5:23-3.21)  
 INTERNATIONAL RESIDENTIAL CODE/2021, NJ ED  
 \* CORRECTED SECTIONS (ERRATA)  
 OTHER REFERENCED I-CODES (IFC/2021, ETC.)  
 SEPT. 06, 2022

**FUEL GAS SUBCODE** (NJAC 5:23-3.22)  
 INTERNATIONAL FUEL GAS CODE/2021  
 SEPT. 06, 2022

**REHABILITATION SUBCODE** (NJAC 5:23-6)  
 NUCC, SUBCHAPTER 6  
 UPDATED AS NECESSARY  
 (CURRENT AS OF 02/16/21)  
 PROPOSED FOR UPDATE  
 09/06/22

**BARRIER FREE SUBCODE** (CHAPTER 11 OF IBC/2021 & NJAC 5:23-7)  
 ICC/ANSI A117.1-2017  
 SEPT. 06, 2022

**ELEVATOR SUBCODE** (NJAC 5:23-12)  
 AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)  
 SEPT. 06, 2022

### TRASH PICK UP NOTES:

- A. NEW TRASH ENCLOSURE LOCATED AT REAR OF PARKING LOT.
- B. TRASH PICK UP WILL BE DAILY RECYCLING & CARDBOARD PICK UP WILL BE TWICE A WEEK.
- C. ALL CONTAINERS TO BE SEALED W/FLIP TOP LIDS.
- D. ALL TRASH CONTAINERS TO BE (2) 5 YARD ROLL IN CONTAINERS, (1) RECYCLING (1) TRASH
- E. TRASH REMOVAL SHALL BE DAILY BY PRIVATE CARTAGE FROM NEW TRASH ENCLOSURE.

**TRASH CALCULATIONS**

TRASH - (8) 55 GAL BAGS /DAY  
 RECYCLING - (7) CU.FT/DAY  
 CARD BOARD -(4) CU.FT/DAY

### DRAWING INDEX

T-1	PROJECT DATA, SYMBOL SCHEDULE, GENERAL NOTES, LOCATION MAP, DRAWING INDEX, APPLICABLE NOTES, BIDDING NOTES & FRONT PERSPECTIVE ELEVATION
A-2.0	GROUND FLOOR PARKING GROUND FLOOR RETAIL
A-2.1	SECOND FLOOR PLAN
A-2.2	THIRD FLOOR PLAN
A-2.3	FOURTH FLOOR PLAN
A-2.4	ROOF PLAN
A-3.1	FRONT BUILDING ELEVATIONS LEFT SIDE BUILDING ELEVATION
A-3.2	RIGHT SIDE BUILDING ELEVATION REAR BUILDING ELEVATION

### PROJECT DATA

USE GROUP: B/R2  
 CONSTRUCTION CLASS: 5A  
 FIRST FLOOR 3,190  
 SECOND FLOOR 14,032  
 THIRD FLOOR 14,032  
 FOURTH FLOOR 14,032  
 TOTAL FLOOR AREA 45,286

BUILDING HEIGHT: (N) - 49'-0"  
 (NOT INCLUDING 2-6" PARAPET / STAIRS)  
 FIRE SUPPRESSION: YES

### SYMBOL SCHEDULE

KEY	DESCRIPTION
---	EXISTING WALL TO REMAIN
- - -	EXISTING WALL TO BE REMOVED
---	NEW STUD WALL
---	NEW MASONRY WALL
---	BRICK VENEER
---	FIRE BRICK
(E)	EXISTING
(N)	NEW
(R)	RELOCATED
(F)	FLUSH
⊕	GROUND FAULT PROTECTED OUTLET
⊕	WEATHERPROOF OUTLET
⊕	FLOOR/CEILING OUTLET
⊕	SWITCH OUTLET
⊕	DUPLEX OUTLET
⊕	QUAD OUTLET
⊕	TWO-POLE SWITCH
⊕	THREE POLE SWITCH
⊕	FOUR POLE SWITCH
⊕	DIMMER SWITCH
⊕	CHANDELIER FIXTURE
⊕	RECESSED FIXTURE
⊕	RECESSED HIGH INTENSITY FIXTURE -LOW VOLTAGE-
⊕	INCANDESCENT FIXTURE
⊕	HANGING PENDANT FIXTURE
⊕	EXHAUST FAN WITH LIGHT
⊕	WALL MOUNTED INCANDESCENT FIXTURE
⊕	SWITCHED WALL SCONCE
⊕	DOOR BELL
⊕	DOOR CHIME
⊕	SMOKE DETECTOR
⊕	CARBON MONOXIDE
⊕	THERMOSTAT
⊕	CENTRAL VACUUM OUTLET
⊕	CABLE TV JACK
⊕	TELEPHONE JACK
⊕	SPEAKER JACK
⊕	WALL HYDRANT/HOSE BIB
⊕	CEILING FAN W/O LIGHT
⊕	FLOOD LIGHT FIXTURE
⊕	1'-0" X 4'-0" FLUORESCENT FIXTURE
⊕	2'-0" X 4'-0" FLUORESCENT FIXTURE
⊕	2'-0" X 2'-0" FLUORESCENT FIXTURE
⊕	SUPPLY REGISTER
⊕	RETURN REGISTER
⊕	ILLUMINATED EXIT SIGN
⊕	BATTERY POWERED EMERGENCY LIGHT
⊕	EXHAUST FAN (TO EXTERIOR)
⊕	FLOOR DRAIN
⊕	DRINKING FOUNTAIN
⊕	UPRIGHT SPRINKLER HEAD
⊕	EXISTING SPRINKLER HEAD
⊕	NEW PENDANT SPRINKLER HEAD
⊕	REMOVED/RELOCATED SPRINKLER
⊕	STROBE ONLY
⊕	DUCT SMOKE DETECTOR
⊕	REMOTE/TEST/INDICATOR FOR DETECTOR
⊕	FIRE EXTINGUISHER
⊕	HORN/STROBE

### REVISIONS

Δ-30-23	
Δ-28-23	
Δ-10-24	

*Michael James Monroe*  
 N.J. LIC. - 10814

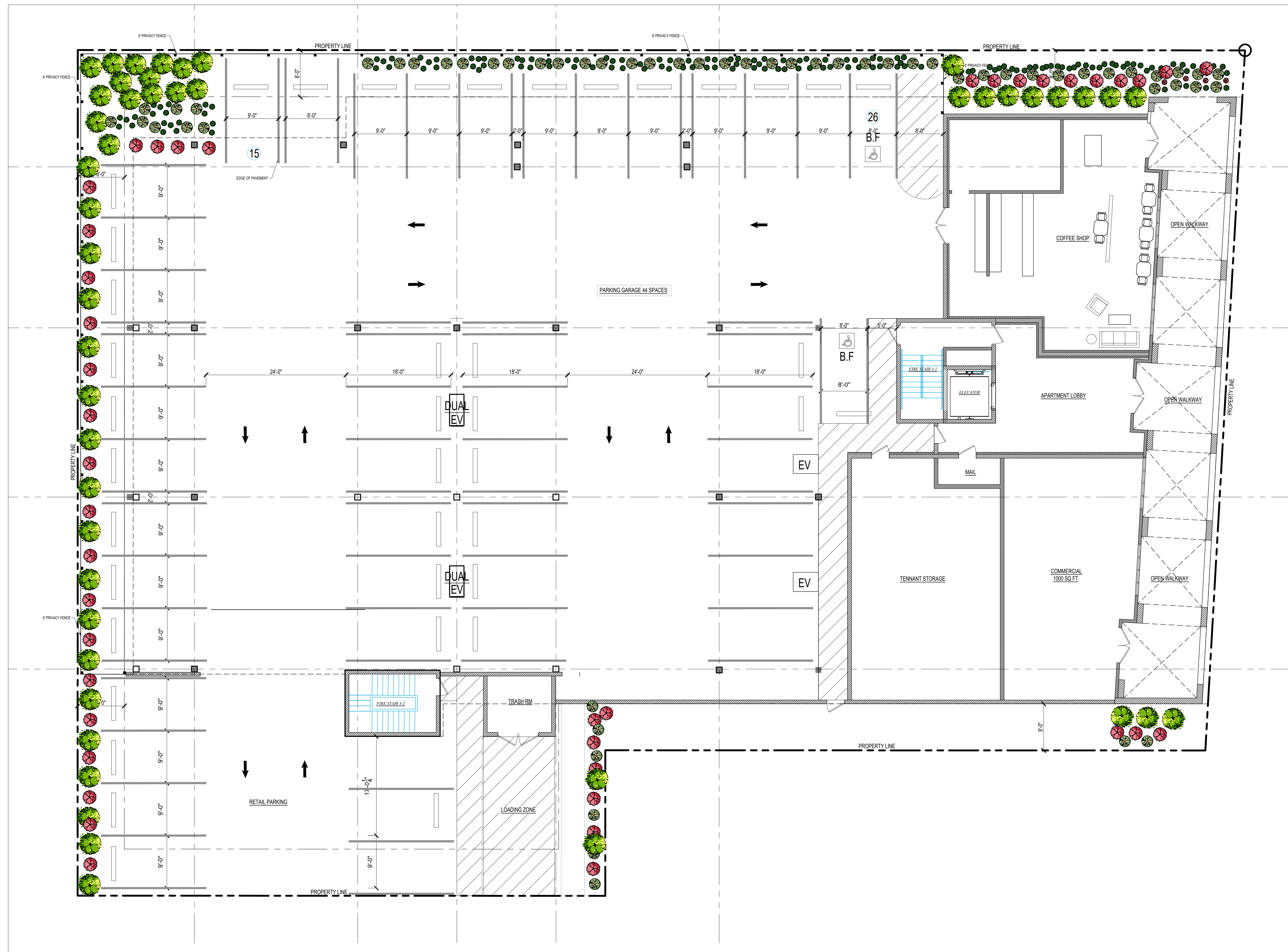
PROPOSED MIXED USE DEVELOPMENT FOR:  
**American Opportunity Zone Fund Llc**  
 BLOCK 40 LOT 13.01  
 78 BRIDGE AVE  
 RED BANK, NJ

**MICHAEL JAMES MONROE**  
 • A R C H I T E C T •  
 788 SHREWSBURY AVE  
 TINTON FALLS, NJ

DATE	1-4-23
SCALE	AS NOTED
DRN BY	MJS
ISSUE	

PROJ # 3001-23

**T-1**



1 PARKING LEVEL / GROUND FLOOR PLAN  
 A-2.0 SCALE: 1/8"=1'-0"

REVISIONS	
Δ 7-30-23	
Δ 8-28-23	
Δ 1-10-24	

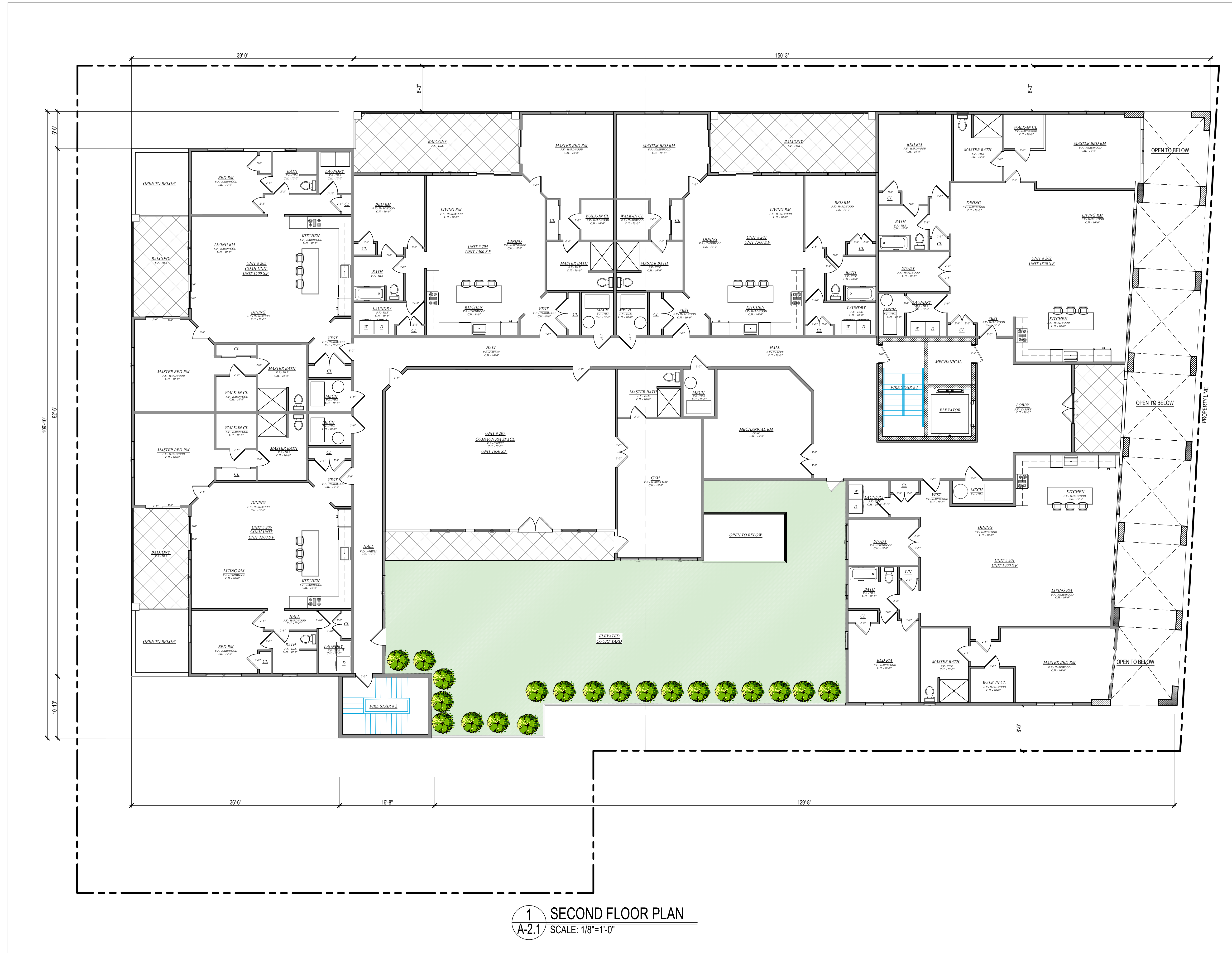
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ISSUE	

PROJ # 3001-23  
**A-2.0**  
 SH 2 OF 8



1 SECOND FLOOR PLAN  
 A-2.1 SCALE: 1/8"=1'-0"

REVISIONS	
△ 7-26-23	
△ 8-28-23	
△ 1-10-24	

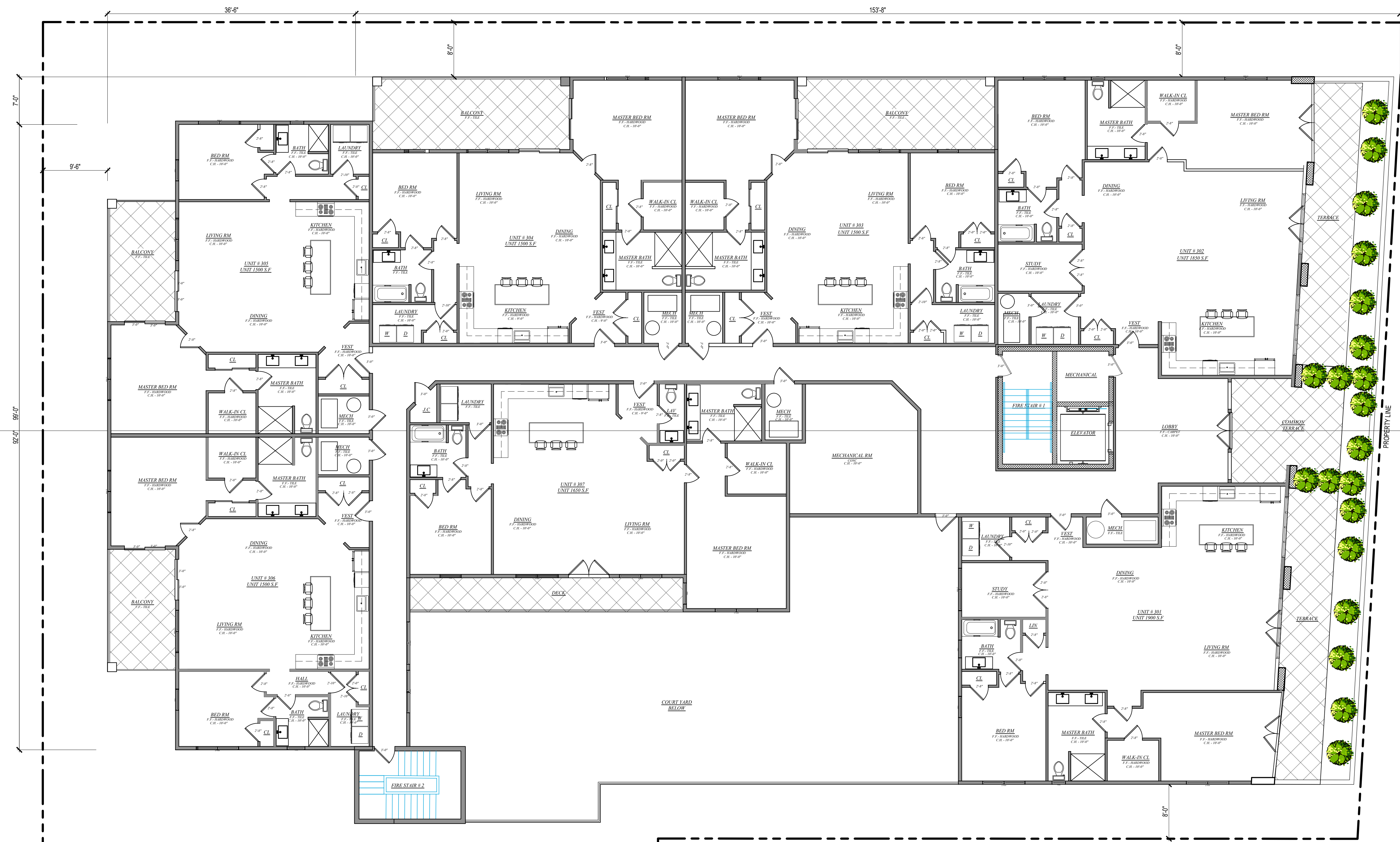
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DRN BY	MIS
ISSUE	

PROJ # 3001-23  
**A-2.1**  
 SH 3 OF 8



1 THIRD FLOOR PLAN  
A-2.2 SCALE: 1/8"=1'-0"

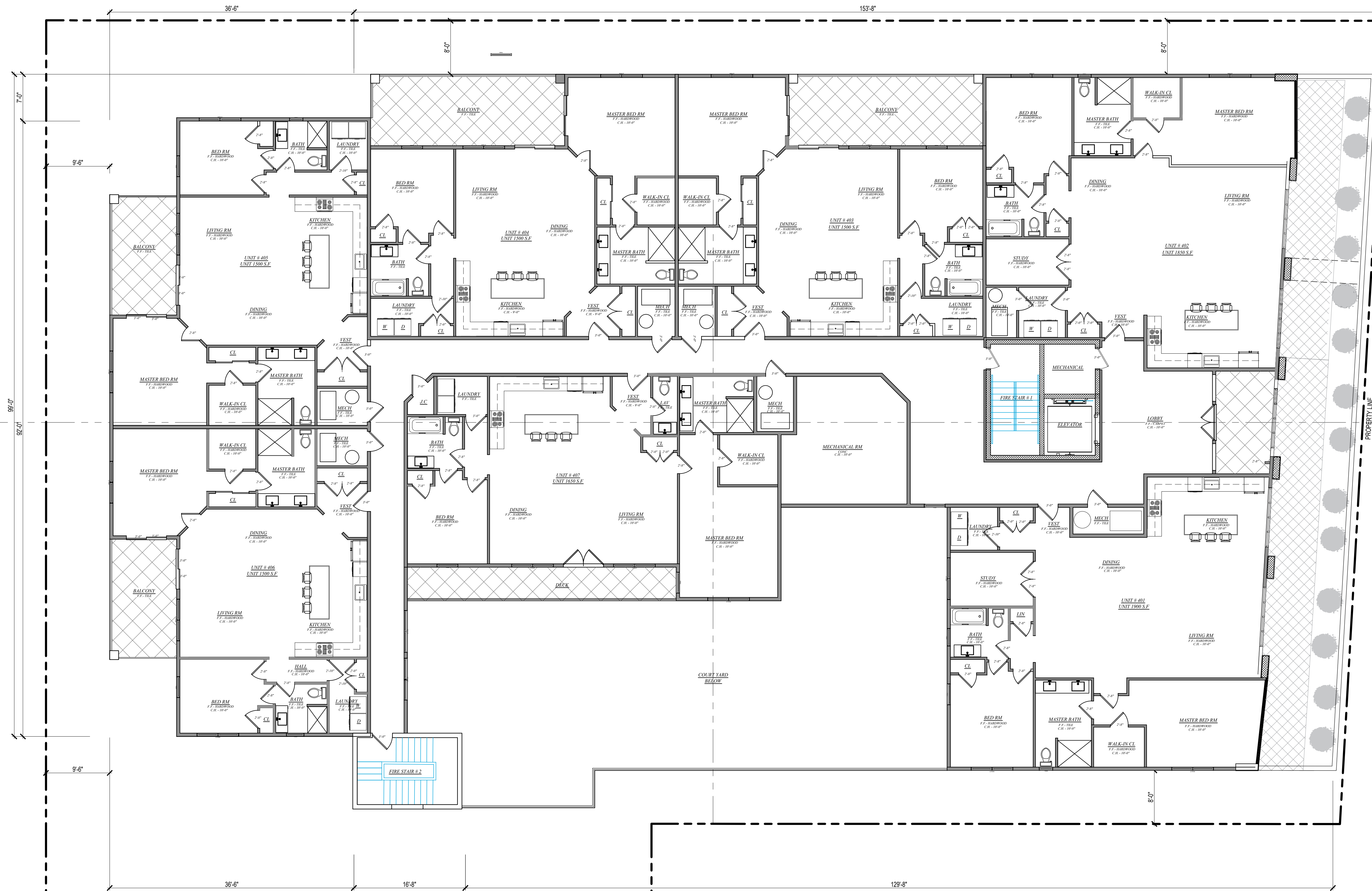
REVISIONS	
Δ 7-30-23	
Δ 8-28-23	
Δ 1-10-24	

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**1** FOURTH FLOOR PLAN  
**A-2.3** SCALE: 1/8"=1'-0"

REVISIONS	
△ 7-30-23	
△ 8-28-23	
△ 1-10-24	

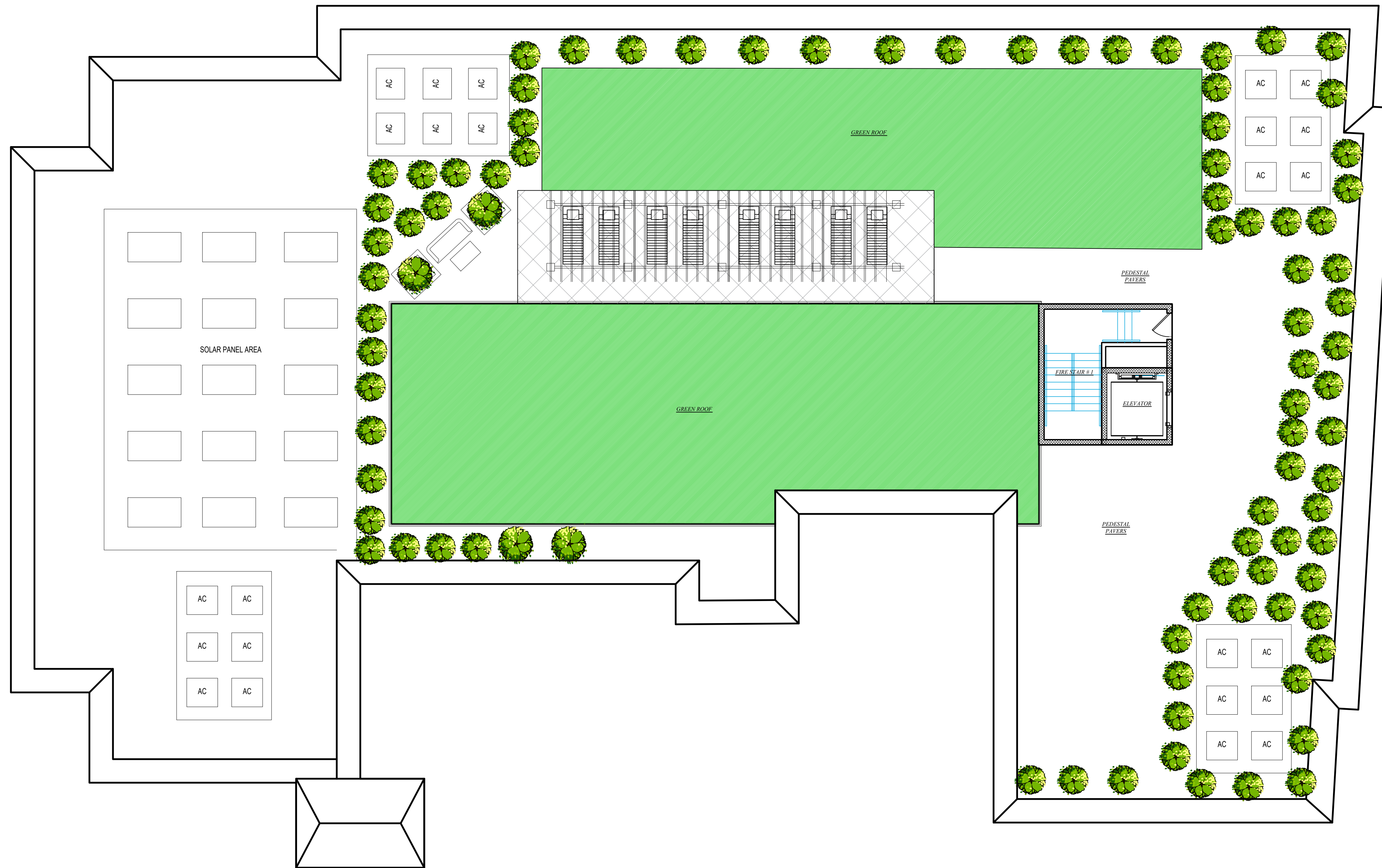
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DATE	SCALE	AS NOTED
1-4-23	AS NOTED	

PROJ # 3001-23  
**A-2.3**  
 SH 5 OF 8



1 ROOF PLAN  
A-2.4 SCALE: 1/8"=1'-0"

REVISIONS	
Δ 7-30-23	
Δ 8-28-23	
Δ 1-10-24	

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DATE	SCALE	AS NOTED
1-4-23	AS NOTED	

PROJ # 3001-23

**A-2.4**  
SH 6 OF 8



1 FRONT ELEVATION  
A-3.2 SCALE: 1/8"=1'-0"



2 LEFT SIDE ELEVATION  
A-3.1 SCALE: 1/8"=1'-0"

REVISIONS

Δ 7-30-23	
Δ 8-28-23	
Δ 1-10-24	

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PROJ # 3001-23

**A-3.1**



1 REAR ELEVATION  
A-3.2 SCALE: 1/8"=1'-0"



2 RIGHT SIDE ELEVATION  
A-3.2 SCALE: 1/8"=1'-0"

REVISIONS

△	7-30-23	
△	8-28-23	
△	1-10-24	

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PROJ # 3001-23

**A-3.2**